

Guide Price £40,000



## Apartment 8, Trafalgar Court, Clay Lane, Uffculme, Cullompton,

EX15 2YU

- Living room with door to communal garden
- Spacious hallway
- Modern shower room
- Communal living room
- Central Uffculme position
- Fitted kitchen
- Double bedroom
- Night storage heating
- Warden on-site
- No chain

**Sales, Lettings, Mortgages:**

Bampton 01398 332006 | Cullompton 01884 32100 | Tiverton 01884 253500

---

# Clay Lane, Cullompton EX15 3XL

A ground floor one bedroom retirement apartment with direct access to the communal gardens. No onward chain



Council Tax Band: A



## LongDescription

This ground floor apartment lies in a popular Warden assisted complex for the over 60's, a short step from the centre of the sought-after village of Uffculme, with good local amenities.

The complex is entered via a secure front door with a security intercom, and access to the lower ground floor is via a stairway or lift, with a private door leading into the flat. An entrance hall leads into the apartment, with door through to the living room with door providing direct access into the communal gardens. There is an arch through to the kitchen which is fitted with a range of wall and base units with work surface, space for cooker and further appliance space. There is a spacious bathroom with large walk in shower with seat. The bedroom has a built in airing cupboard and looks out over the garden.

Trafalgar Court benefits from the services of a House Manager, and each flat is fitted with an emergency "aid-call" system for residents' reassurance. There are excellent communal facilities included in the service charge including a lounge for the residents, laundry facilities, a guest suite, available at an extra cost, and a lift providing access to all floors, which is fully maintained. Outside, the communal gardens are tended for all residents to enjoy, and there is a residents' car park with spaces for visitors.

Services: Mains electricity, drainage, and water.  
Council Tax: Band A - Mid Devon District Council.

Tenure: Leasehold.

Lease: 125 years from 15 June 1990

Ground Rent: £225/per annum.

Service Charge: £2,640 per annum, to include house manager assistance, the "aid-call" emergency alarm system, buildings insurance, use of the laundry, heating and lighting to all communal areas and the cleaning/maintenance of the building, gardens and grounds.

The village of Uffculme has an excellent range of amenities, including renowned schools, mini markets, a post office, local inn, 'The Ostler', a church, village hall, doctor's surgery, and veterinary practice. For those who like the outdoors, there are plenty of walks nearby and a great sense of community within the village. The nearby market towns of Tiverton and Cullompton provide more extensive services and both the cathedral city of Exeter, and Taunton, are readily accessible via the M5 motorway or Tiverton Parkway Station, also with daily services to London Paddington, in about 2 hours.

Tiverton - c. 9 miles

Junction 27 of M5 - c. 2 miles

Exeter International Airport - c. 18 miles

Exeter - c. 19 miles

Junction 28 of M5 - c. 5.5 miles

Tiverton Parkway Station - c. 3 miles

Taunton - c. 17 miles

Please see the floor plan for the dimensions. The internal photos were taken with a wide-angle lens to show more of the rooms.



## Directions

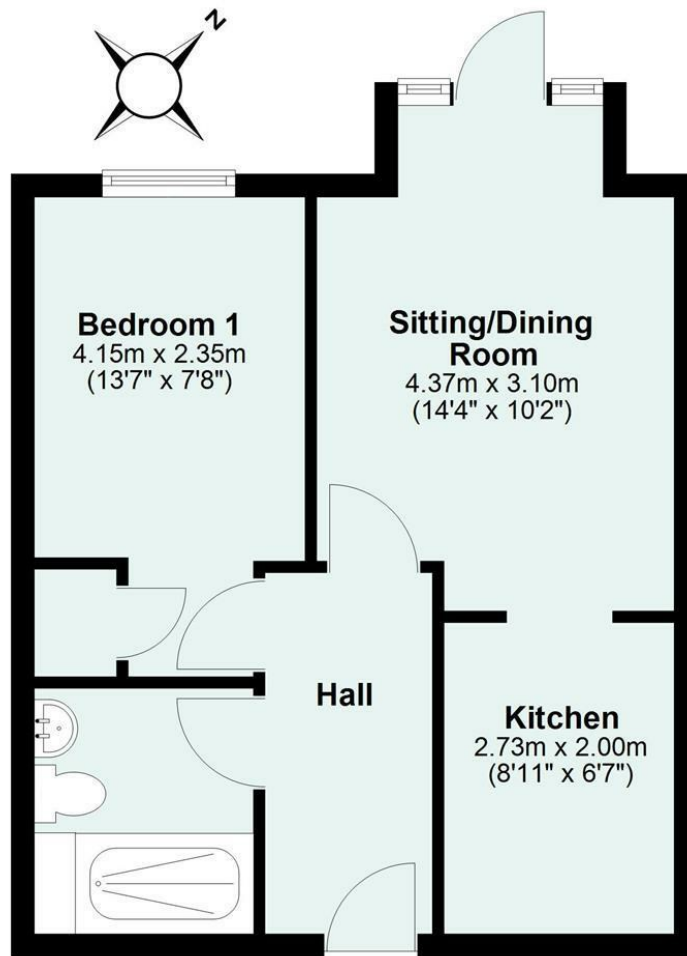
DIRECTIONS:

## Viewings

Viewings by arrangement only. Call 01884 32100 to make an appointment.

## EPC Rating:

Energy Efficiency Rating		Current	Potential
Very energy efficient - lower running costs			
(92 plus) A			
(81-91) B			
(69-80) C			
(55-68) D			
(39-54) E			
(21-38) F			
(1-20) G			
Not energy efficient - higher running costs			
		74	82
England & Wales		EU Directive 2002/91/EC	



Total area: approx. 36.8 sq. metres  
(395.7 sq. feet)