



8 MANOR PARK, WOOLSERY, BIDEFORD. EX39 5RH – GUIDE £375,000

Detached three/four bed chalet bungalow set within a level plot, having off road parking, impressive lawned rear garden and a superb sized family living/dining room with bi fold doors. The property is centrally positioned not far from the amenities on offer within the highly popular village of Woolsery.





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Located not far from the centre of the village which amenities include general store/post office/deli, primary school, fish & chip shop, village hall, superb gastro pub and a church. The village has a bus service providing access to the port and market town of Bideford, approximately 8 miles distant, where a wide range of national and local shopping, banking and recreational facilities can be found. The property is also ideally situated within short driving distance of some of North Devon and Cornwall's most breath-taking coastline with beauty spots including Bucks Mills, Clovelly, Hartland Point and Brownsham. The A39 North Devon Link Road provides a speedy link to the North Devon regional centre of Barnstaple, approximately 20 miles, and beyond to the national motorway network.

SERVICES: Mains water, electricity and drainage. Oil fired central heating. uPVC double glazed windows. Solar panels plus storage batteries.

COUNCIL TAX BAND: C

TENURE: Freehold

DIRECTIONS TO FIND: From Bideford proceed west on the A39 as towards Clovelly and North Cornwall. Continue for approx. 6 miles until reaching Bucks Cross. Turn left as signposted to Woolsery continuing for approx. 2 miles until reaching the village. On entering the village take the first turning right into Manor Park, follow the road and as you get towards the end of the development the property will be found on the left hand side with Brights For Sale board and house number displayed.

The accommodation is presently arranged to provide (measurements are approximate):-

UPVC composite double glazed door into: **ENTRANCE HALL:** Built in cupboard housing the solar controls and two storage batteries. Laminate flooring, radiator and stairs to the first floor.

BEDROOM ONE: 4.00m x 3.17 Radiator and laminate flooring. **ENSUITE:** Automatic sensor lighting, fully tiled shower cubicle with extractor fan fitted. Wash basin with cupboard below, low-level dual flush WC, storage above and ladder style radiator fitted. Laminate flooring.

LIVING/DINING ROOM: 6.87m x 6.06m max. L-shaped open plan room with fitted log burner, three leaf double glazed aluminium bi-fold doors opening onto the decking area. Three radiators and fitted carpet.

KITCHEN: 3.17m x 3.02m Working surface incorporating one and a half bowl textured single drainer sink unit with tiled splashback and integrated four ring electric hob plus extractor fan over. Eye level oven and grill, integrated fridge, space and plumbing for washing machine. Cupboards and drawers with matching wall units. **UTILITY:** 3.98m x 2.25m Working surface incorporating two circular steel sink units with tiled splashback, plumbing and space for washing machine underneath, cupboards and drawers with matching wall units. UPVC double glazed door into the rear garden. Freestanding Grant oil fired boiler.

CLOAKROOM: Automatic sensor lighting, low-level dual flush WC, wash basin with cupboard underneath. Chrome ladder style radiator, medicine cabinet and extractor fan. Laminate flooring.

BEDROOM FOUR/OFFICE: 3.99m x 2.26m Contemporary vertical style radiator and laminate flooring.

STAIRS AND FIRST FLOOR LANDING: Two built-in double door storage cupboards with one housing the hot water tank. Hatch to loft space and fitted carpet.

BEDROOM TWO: 3.62m x 3.56m max Radiator and fitted carpet. Eaves storage.

BEDROOM THREE: 3.58m x 2.71m Radiator and fitted carpet. Eaves storage.

BATHROOM: Automatic sensor lighting, bath with shower mixer taps and attractive wood panelling. Wash basin with storage underneath and a low-level dual flush WC. Radiator and laminate flooring.

OUTSIDE: To the front of the property is a driveway with parking for at least two cars and an adjacent level lawn with attractive flowerbeds, mature bushes and shrubs. A side gate leads into the fully enclosed south facing **REAR GARDEN** having a superb level lawn, patio and decking which is need of replacing. To the rear of the garden is two large sheds a patio with pergola over, raised veggie plots and the fenced in oil tank.

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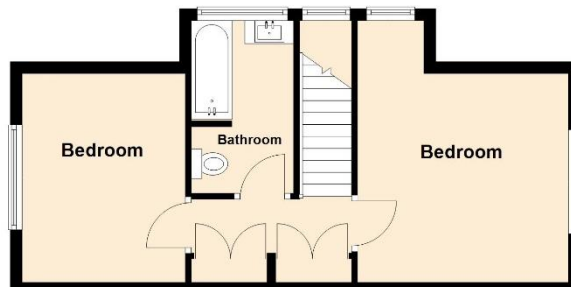
Ground Floor

Approx. 89.9 sq. metres (967.5 sq. feet)



First Floor

Approx. 36.7 sq. metres (394.8 sq. feet)



Total area: approx. 126.6 sq. metres (1362.3 sq. feet)

NOT TO SCALE – FOR IDENTIFICATION ONLY

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Energy Efficiency Rating		
	Current	Potential
Very energy efficient - lower running costs		
(92+) A		
(81-91) B		
(69-80) C		
(55-68) D	68	73
(39-54) E		
(21-38) F		
(1-20) G		
Not energy efficient - higher running costs		
England & Wales		
EU Directive 2002/91/EC		



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